



Process Number: BD220018322001

Address: 780 NE 69 ST

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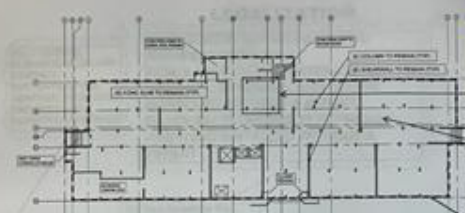
THOMAS PRINTWORKS



PHASE IV PLAN - TOWER 4TH - 26TH FLOORS

- 1. ALL DEMOLITION WORK IS TO BE LIMITED TO THE FLOOR.
- 2. ALL EXISTING INTERIOR WALLS, EXCEPT WALLS TO BE DEMOLISHED, SHALL BE REPAIRED TO ORIGINAL CONDITION.
- 3. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.
- 4. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.

DASHED LINE INDICATE LIMITS OF WORK



PHASE IV PLAN - AMENITIES LOBBY

- 1. ALL DEMOLITION WORK IS TO BE LIMITED TO THE FLOOR.
- 2. ALL EXISTING INTERIOR WALLS, EXCEPT WALLS TO BE DEMOLISHED, SHALL BE REPAIRED TO ORIGINAL CONDITION.
- 3. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.
- 4. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.

AT EXISTING BAR AREA DEMOLISH ALL INTERIOR DRYWALL, MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLED WITHOUT A PERMIT

LEGALIZATION

DASHED LINE INDICATE LIMITS OF WORK

AT EXISTING GUESTING ROOM, GYMNASIUM, GYM BATHROOM DEMOLISH ALL INTERIOR DRYWALL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SPRINKLER IN CLOSET INSTALLED WITHOUT A PERMIT

LEGALIZATION



PHASE IV PLAN - TOWER 27TH FLOOR (SUITE FLOOR)

- 1. ALL DEMOLITION WORK IS TO BE LIMITED TO THE FLOOR.
- 2. ALL EXISTING INTERIOR WALLS, EXCEPT WALLS TO BE DEMOLISHED, SHALL BE REPAIRED TO ORIGINAL CONDITION.
- 3. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.
- 4. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.

DASHED LINE INDICATE LIMITS OF WORK



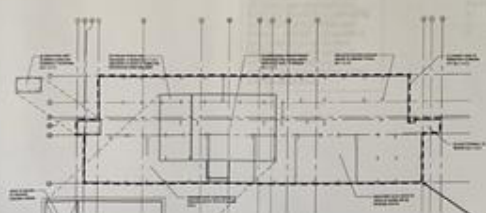
PHASE IV AND IVA PLAN - TOWER 2ND FLOOR

- 1. ALL DEMOLITION WORK IS TO BE LIMITED TO THE FLOOR.
- 2. ALL EXISTING INTERIOR WALLS, EXCEPT WALLS TO BE DEMOLISHED, SHALL BE REPAIRED TO ORIGINAL CONDITION.
- 3. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.
- 4. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.

DASHED LINE INDICATE LIMITS OF WORK

2ND FLOOR THROUGHOUT OFFICES AND BATHROOMS DEMOLISH ALL MECHANICAL/ELECTRICAL/PLUMBING WORK PERFORMED DUE TO HURRICANE IRMA AND WITHOUT A PERMIT OR NEW WORK PERFORMED WITHOUT A PERMIT

LEGALIZATION



PHASE IV PLAN - TOWER ROOF

- 1. ALL DEMOLITION WORK IS TO BE LIMITED TO THE FLOOR.
- 2. ALL EXISTING INTERIOR WALLS, EXCEPT WALLS TO BE DEMOLISHED, SHALL BE REPAIRED TO ORIGINAL CONDITION.
- 3. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.
- 4. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.

DASHED LINE INDICATE LIMITS OF WORK



PHASE IV AND IVA PLAN - TOWER 3RD FLOOR

- 1. ALL DEMOLITION WORK IS TO BE LIMITED TO THE FLOOR.
- 2. ALL EXISTING INTERIOR WALLS, EXCEPT WALLS TO BE DEMOLISHED, SHALL BE REPAIRED TO ORIGINAL CONDITION.
- 3. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.
- 4. ALL EXISTING INTERIOR WALLS TO BE DEMOLISHED SHALL BE DEMOLISHED TO EXPOSE THE STRUCTURE.

DASHED LINE INDICATE LIMITS OF WORK

SCOPE OF WORK

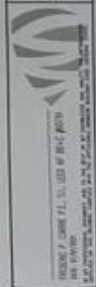
BUILDING WORK AREA - UPPER LEVEL GARAGE

UPPER LEVEL PARKING AND AMENITIES LEVEL PLAN

NO.	DATE	REVISIONS

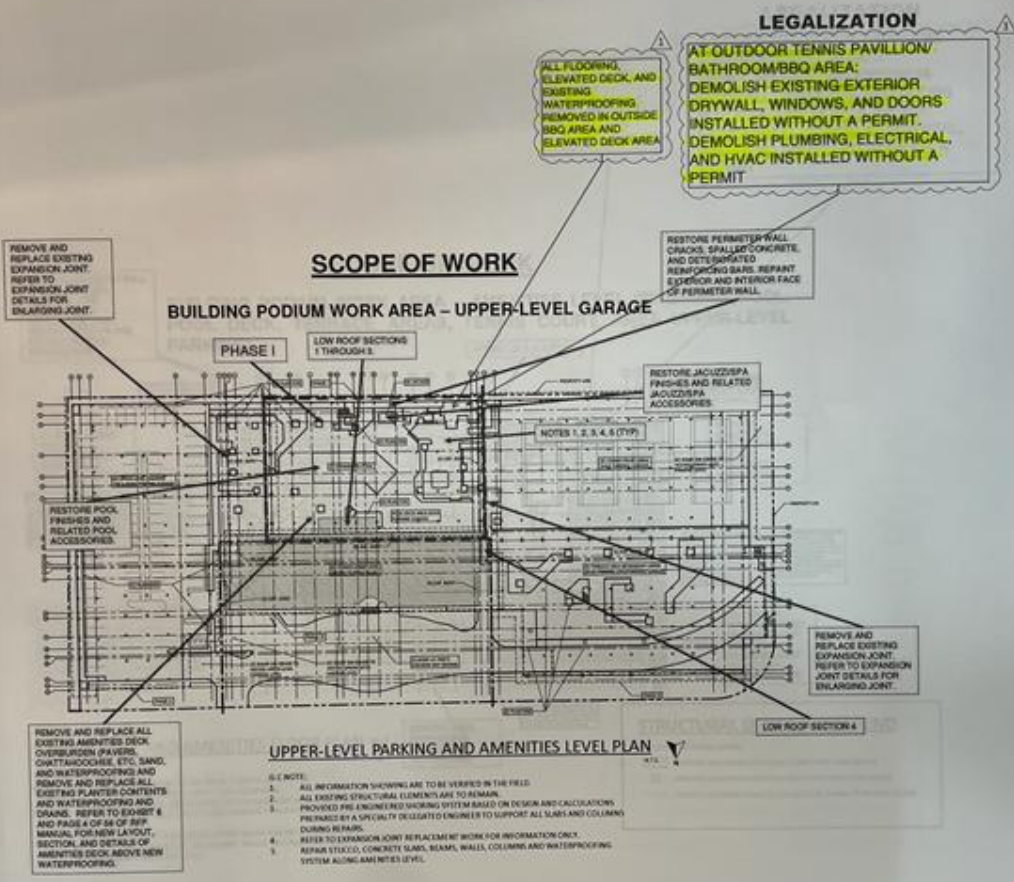
40-YEAR REGENERATION RESTORATION IMPROVEMENT TOWER AND POOL AT BASE OF PALM BAY YACHT CLUB CONDOMINIUM BUILDING
 PALM BAY YACHT CLUB CONDOMINIUM ASSOCIATION, INC.
 1000 W. PALM BAY BLVD., SUITE 1000, PALM BAY, FL 32909

SHEET TITLE
 SCOPE OF WORK SUMMARY AND PROPOSED WORK LIMITS (5 OF 5)



NO.	DATE	REVISIONS

SHEET NUMBER
 S2.4



- S.E. NOTE:**
1. ALL INFORMATION SHOWN ARE TO BE VERIFIED IN THE FIELD.
 2. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN.
 3. PROVIDED PRE-ENGINEERED SHORING SYSTEM BASED ON DESIGN AND CALCULATIONS PREPARED BY A SPECIALTY DELEGATED ENGINEER TO SUPPORT ALL SLABS AND COLUMNS DURING REPAIRS.
 4. REFER TO EXPANSION JOINT REPLACEMENT WORK FOR INFORMATION ONLY.
 5. REPAIR STUCK, CONCRETE SLABS, BEAMS, WALLS, COLUMNS AND WATERPROOFING SYSTEM ALONG AMENITIES LEVEL.

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

10-YEAR RECONSTRUCTION RESTORATION
 IMPROVE FACILITY TOWER AND PODIUM AT
 BASSO PALM BEACH YACHT CLUB
 BASSO PALM BEACH BUILDING
 1000 PALM BEACH BLVD., SUITE 100
 PALM BEACH, FL 33480

SHEET TITLE
 SCOPE OF WORK



EPIC

NO.	DATE	DESCRIPTION
1		
2		
3		

SHEET NUMBER
S4.2

LEGALIZATION

ALL FLOORING, ELEVATED DECK, AND EXISTING WATERPROOFING REMOVED IN OUTSIDE BBQ AREA AND ELEVATED DECK AREA

AT OUTDOOR TENNIS PAVILLION/ BATHROOM/BBQ AREA: DEMOLISH EXISTING EXTERIOR DRYWALL, WINDOWS, AND DOORS INSTALLED WITHOUT A PERMIT. DEMOLISH PLUMBING, ELECTRICAL, AND HVAC INSTALLED WITHOUT A PERMIT

SCOPE OF WORK

BUILDING PODIUM WORK AREA - AMENITIES LEVEL (SWIMMING POOL, POOL DECK, TERRACE AREAS, TENNIS COURT, AREA UPPER-LEVEL PARKING)

NOTES 1, 2, 3, 4, 5 (TYP)

RESTORE PERIMETER WALL, CRACKS, SPALLED CONCRETE, AND DETRIORATED REINFORCING BARS. REPAIR EXTERIOR AND INTERIOR FACE OF PERIMETER WALL

REMOVE AND REPLACE EXISTING EXPANSION JOINT. REFER TO EXPANSION JOINT DETAILS FOR ENLARGING JOINT

REMOVE AND REPLACE ALL EXISTING AMENITIES DECK OVERBURDEN (PAVERS, CHATTANOOGHEE, ETC. SAND, AND WATERPROOFING) AND REMOVE AND REPLACE ALL EXISTING PLANTER CONTENTS AND WATERPROOFING AND DRAINS. REFER TO EXHIBIT # FOR NEW LAYOUT, SECTION, AND DETAILS OF AMENITIES DECK ABOVE NEW WATERPROOFING.

RESTORE JACUZZI/SPA FINISHES AND RELATED JACUZZI/SPA ACCESSORIES.

REMOVE AND REPLACE EXISTING EXPANSION JOINT. REFER TO EXPANSION JOINT DETAILS FOR ENLARGING JOINT

RESTORE POOL FINISHES AND RELATED POOL ACCESSORIES.

STRUCTURAL DEFICIENCY LEGEND

- STRUCTURAL DEFICIENCY LEGEND:
- ◻ INDICATES SPALLED CONCRETE SLAB (PORE FROM LEVEL BELOW)
 - ⊙ INDICATES SPALLED CONCRETE (COLUMN) (PORE FROM LEVEL BELOW)
 - INDICATES OVERLAP CONCRETE SLAB (ARISE FROM LEVEL BELOW)

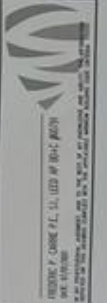
PHASE I SITE AND AMENITIES FLOOR PLAN

- S/C NOTE:
1. ALL INFORMATION SHOWING ARE TO BE VERIFIED IN THE FIELD.
 2. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN.
 3. PROVIDED PRE-ENGINEERED SHORING SYSTEM BASED ON DESIGN AND CALCULATIONS PREPARED BY A SPECIALTY DELEGATED ENGINEER TO SUPPORT ALL SLABS AND COLUMNS DURING REPAIRS.
 4. REFER TO EXPANSION JOINT REPLACEMENT WORK FOR INFORMATION ONLY.
 5. REPAIR STUCCO, CONCRETE SLABS, BEAMS, WALLS, COLUMNS AND WATERPROOFING SYSTEM ALONG AMENITIES LEVEL.

NO.	DATE	DESCRIPTION
1		
2		
3		

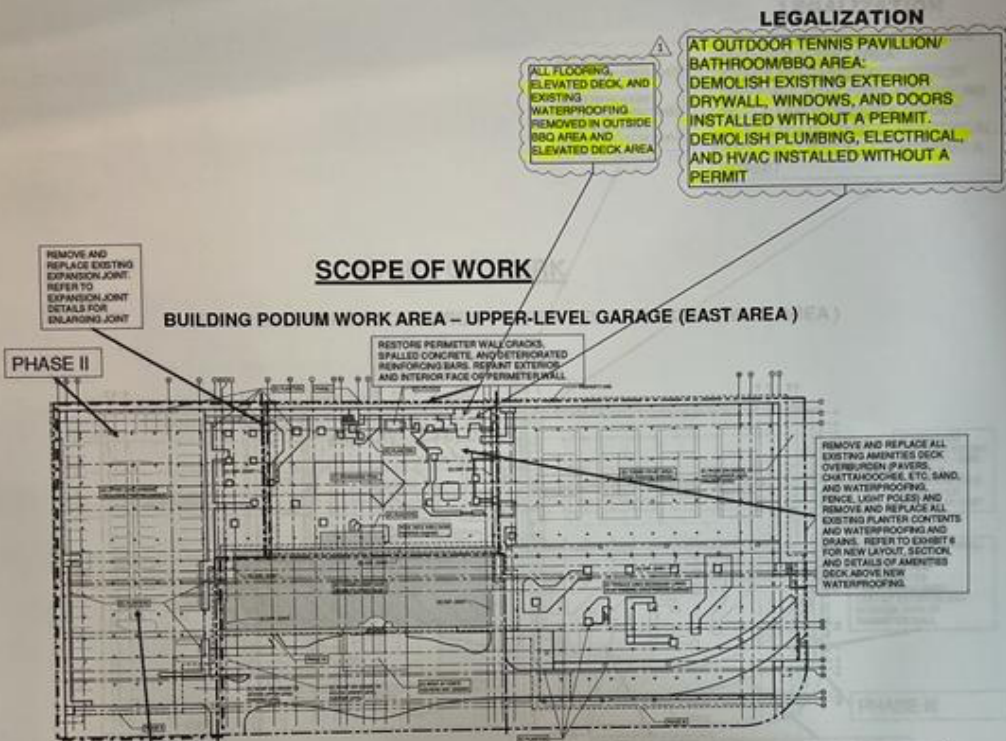
4-YEAR RE-CERTIFICATION RESTORATION IMPROVEMENT TOWER AND PODIUM AT BASE OF PALM BAY TOWER CLUB CONCRETE REPAIR BUILDING
 1000 PALM BAY BLVD., PALM BAY, FL 32909
 407-897-1111

SHEET TITLE
SCOPE OF WORK



EPIC
 Engineering & Construction, Inc.
 1000 Palm Bay Blvd., Suite 100
 Palm Bay, Florida 32909
 407-897-1111

Project No.	1000
Sheet No.	S4.4
Contract No.	1000
Date	01/15/2019
Revision No.	01/15/2019
SHEET NUMBER	
S4.4	



NOTES 1, 2, 3, 4, 5 (TYP)
UPPER-LEVEL GARAGE AND AMENITIES LEVEL FLOOR PLAN

- G.E. NOTE:**
1. ALL INFORMATION SHOWN ARE TO BE VERIFIED IN THE FIELD.
 2. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN.
 3. PROVIDED THE ENGINEER'S SHORING SYSTEM BASED ON DESIGN AND CALCULATIONS PREPARED BY A SPECIALTY DESIGNATED ENGINEER TO SUPPORT ALL SLAB AND COLUMN BARRING REPAIRS.
 4. REFER TO EXPANSION JOINT REPLACEMENT WORK FOR INFORMATION ONLY.
 5. REPAIR STUCCO, CONCRETE SLABS, BEAMS, WALLS, COLUMNS AND WATERPROOFING SYSTEM ALONG AMENITIES LEVEL.

STRUCTURAL DEFICIENCY LEGEND

STRUCTURAL DEFICIENCY LEGEND:

- INDICATES SPALLED CONCRETE SLAB (VISIBLE FROM LEVEL BELOW)
- INDICATES SPALLED CONCRETE COLUMN (VISIBLE FROM LEVEL BELOW)
- ~ INDICATES OVERHUNG CRACKED CONCRETE SLAB (VISIBLE FROM LEVEL BELOW)

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

40-YEAR RECERTIFICATION RESTORATION
 IMPROVEMENT TOWER AND PODIUM AT
 BASE OF PALM BAY YACHT CLUB
 CONDOMINIUM BUILDING
 PROJECT NUMBER: 2024-001
 DATE: 08/15/2024

SHEET TITLE
SCOPE OF WORK



EPIC
 Engineering & Planning, Inc.
 1000 N. Orange Ave., Suite 1100
 Orlando, FL 32801
 Phone: 407.841.1100
 Website: www.epic-inc.com

Project No.	24-001
Sheet No.	SS.2
Revision No.	1
Date	08/15/2024
Drawn By	JL
Checked By	JL
Approved By	JL
Scale	AS SHOWN
Sheet Number	SS.2

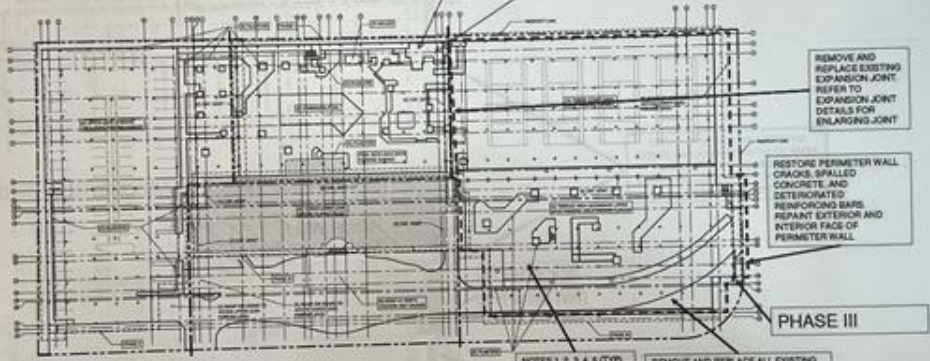
LEGALIZATION

ALL FLOORING, ELEVATED DECK, AND EXISTING WATERPROOFING REMOVED IN OUTSIDE BBQ AREA AND ELEVATED DECK AREA

LEGALIZATION
 AT OUTDOOR TENNIS PAVILLION/ BATHROOM/BBQ AREA: DEMOLISH EXISTING EXTERIOR DRYWALL, WINDOWS, AND DOORS INSTALLED WITHOUT A PERMIT; DEMOLISH PLUMBING, ELECTRICAL, AND HVAC INSTALLED WITHOUT A PERMIT

SCOPE OF WORK

BUILDING PODIUM WORK AREA - UPPER-LEVEL PARKING (WEST AREA)



UPPER-LEVEL PARKING AND AMENITIES LEVEL FLOOR PLAN

- GLC NOTE:
1. ALL INFORMATION SHOWING ARE TO BE VERIFIED IN THE FIELD.
 2. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN.
 3. PROVIDED PRE-ENGINEERED SHORING SYSTEM BASED ON DESIGN AND CALCULATIONS PREPARED BY A SPECIALTY DELEGATED ENGINEER TO SUPPORT ALL SLABS AND COLUMNS DURING REPAIRS.
 4. REFER TO EXPANSION JOINT REPLACEMENT WORK FOR INFORMATION ONLY.
 5. REPAIR STUCCO, CONCRETE SLABS, BEAMS, WALLS, COLUMNS AND WATERPROOFING SYSTEM ALONG AMENITIES LEVEL.

NOTES 1, 2, 3, 4, 5 (TYP)
 REMOVE AND REPLACE ALL EXISTING AMENITIES DECK OVERBURDEN (WAXERS, CHATTahooCHEE, ETC., TENNIS COURT TOPPING SLAB, POSTS, NETS, FENCE, LIGHT POLES, SAND, AND WATERPROOFING) AND REMOVE AND REPLACE ALL EXISTING PLANTER CONTENTS AND WATERPROOFING AND DRAINS. REFER TO EIGHTH AND PAGE 4 OF 94 OF RFP MANUAL FOR NEW LAYOUT, SECTION, AND DETAILS OF AMENITIES DECK ABOVE NEW WATERPROOFING.

REVISIONS

NO.	DATE	DESCRIPTION
1	08/14/2018	ISSUED FOR PERMIT
2	08/14/2018	ISSUED FOR PERMIT
3	08/14/2018	ISSUED FOR PERMIT

40-YEAR RECERTIFICATION RESTORATION IMPROVEMENT TOWER AND POOLUM AT BASE OF PALM BAY YACHT CLUB CONDOMINIUM BUILDING
 PALM BAY YACHT CLUB CONDOMINIUM ASSOCIATION, INC.
 100 W. 8TH STREET, SUITE 101, PALM BAY, FL 32909

SHEET TITLE
 SCOPE OF WORK



EPIC

Project No.	18-001
Sheet No.	S6.2
Date	08/14/2018
Scale	AS SHOWN
Author	J. L. SMITH
Checker	J. L. SMITH
Designer	J. L. SMITH
Project Manager	J. L. SMITH

SHEET NUMBER
 S6.2

LEGALIZATION

AT EXISTING BAR AREA:
DEMOLISH ALL INTERIOR DRYWALL, MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLED WITHOUT A PERMIT

LEGALIZATION

AT EXISTING MEETING ROOM, GYMNASIUM, GYM BATHROOM:
DEMOLISH ALL INTERIOR DRYWALL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SPRINKLER IN CLOSET INSTALLED WITHOUT A PERMIT

LEGALIZATION

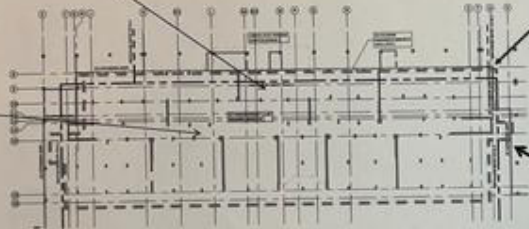
2ND FLOOR THROUGHOUT OFFICES, AND BATHROOMS:
DEMOLISH ALL MECHANICAL/ELECTRICAL/PLUMBING WORK PERFORMED DUE TO HURRICANE IRMA AND WITHOUT A PERMIT OR NEW WORK PERFORMED WITHOUT A PERMIT

SCOPE OF WORK

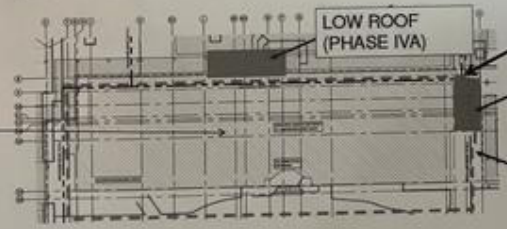
RESTORE PERIMETER WALL CRACKS, SPALLED CONCRETISM AND DETERIORATED REINFORCING BARS. REPAINT EXTERIOR FACE OF PERIMETER AND INTERIOR WALLS, COLUMNS, BEAMS, AND CEILING WITHIN PARKING GARAGE AREAS.

EXTENT OF WORK AREA, ENCLOSED WITHIN GREEN DASHED OUTLINES. REFER TO SHEETS 60-92 AND 98-99 FOR ADDITIONAL INFORMATION, INCLUDING A LIST OF DEFICIENCIES.

RESTORE PERIMETER WALL CRACKS, SPALLED CONCRETISM AND DETERIORATED REINFORCING BARS. REPAINT EXTERIOR FACE OF PERIMETER AND INTERIOR WALLS, COLUMNS, BEAMS, AND CEILING WITHIN PARKING GARAGE AREAS.



PHASE IV (TOWER ONLY): FIRST FLOOR (LOBBY) PLAN

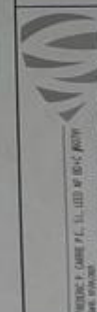


PHASE IV (TOWER ONLY) SECOND FLOOR PLAN

REVISIONS			
No.	Date	Description	By
1		ISSUED FOR PERMIT	
2		ISSUED FOR PERMIT	

45-YEAR RECERTIFICATION RESTORATION
IMPROVEMENT TOWER AND PODIUM AT
BASE OF PALM BAY YACHT CLUB
CONDOMINIUM BUILDING
PALM BAY YACHT CLUB CONDOMINIUM ASSOCIATION, INC.
1616 16TH STREET, SUITE 111, PALM BAY, FL 32909

SHEET TITLE
SCOPE OF WORK



EPIC
Engineering & Planning, Inc.
1616 16th Street, Suite 111
Palm Bay, FL 32909
Phone: 321-325-1111
Website: www.epicinc.com

SHEET NUMBER
S7.4